



GARAGE PERMIT REQUIREMENTS

The following information must be submitted to the Building Official before a building permit can be processed and approved.

- 1. Building Permit Application Form**
- 2. Survey or Site Plan (two copies)**
- 3. Building Plans (two copies)**
- 4. Miscellaneous**

A more detailed description of items 1-4 is listed below. After a preliminary review additional information may be required. Allow 7 working days for processing.

- 1. Building Permit Application Form:** Complete and sign a building permit application. Application forms are available at City Hall.
- 2. Survey or Site Plan:** Provide an updated plan of the property showing the direction north, all property lines, existing buildings (with dimensions) and project address or PIN number. Diagram the proposed building location, dimensions and proposed setbacks from property lines, existing buildings and all topographical features. A registered survey may be required.
- 3. Building Plans (two copies):**
 - A. Elevation Drawings (exterior views) of front, rear and sides of finished building. Indicate the height from finished grade to the top of the sidewalls and peak.
 - B. Section drawing (side, cutaway drawing) showing the details of the footings, foundation, beam sizes, and wall and roof construction.
 - C. Floor Plans of the garage floor showing the length and width of the garage, interior walls, plumbing and heating equipment, use of garage (car storage, etc.), window/door locations and header sizes.
- 4. Miscellaneous:**

Permit Fees: Building and Zoning fees will be determined after the application and required plans have been approved. Fees must be paid in full before a permit can be issued or work can begin.



8319 County Road 11
Breezy Point, MN 56472
Phone: (218) 562-4441
Fax: (218) 656-1326
www.cityofbreezypointmn.us

Permit #: _____
Issued On: _____
Fee Paid: _____
Receipt #: _____

Building Permit Application

Owner: _____ Phone: _____

Home Address: _____ Email: _____

Project Address: _____ PID #: _____

Legal Description: _____

General Contractor: _____ License # : _____ Phone: _____

Plumbing Contractor: _____ License # : _____ Phone: _____

Mechanical Contractor: _____ License #: _____ Phone: _____

Proposed Use [Check One]: ☐ Dwelling Private ☐ Garage ☐ Deck ☐ Home Addition ☐ Pole Building ☐ Finish Basement ☐ Three Season Porch
☐ Business/Commercial ☐ Fireplace ☐ Siding ☐ Furnace ☐ Water Heater ☐ Other

Description of Project: _____

Dimensions: _____

Site Plan submitted: ☐ Yes ☐ No (A site plan is necessary to process applications for all new and/or additions to structures)

Setbacks: OHW _____ Side _____ Side _____ Rear _____ Right of Way _____ Other _____

Zoning District: _____ Lot Area: _____ Impervious Coverage: _____

Estimated Value: _____ Lot Size/Dimensions: _____

This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work has commenced. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

Signature: _____ Date: _____

CITY USE ONLY

PLANNING:

Subject to the following conditions: _____

Reviewed By: _____ Date: _____

Current Septic Compliance on file? ☐ Yes ☐ No Date: _____

BUILDING:

Use and occupancy: _____ Type of Construction: _____

Subject to the following conditions: _____

Reviewed By: _____ Date: _____

FEES

Building Permit: _____

Plumbing Permit: _____

Mechanical Permit: _____

Sewer Availability Charge: _____

Sewer Connection Permit: _____

E911 Address Assignment: _____

Mailbox Support/Install: _____

Culvert: _____

Subtotal: _____

TOTAL DUE: _____

Plan Review: _____

State Surcharge: _____

State Surcharge: _____

State Surcharge: _____

Call 218-940-1682 for inspections & code questions.



RESIDENTIAL STATEMENT OF AGREEMENT

SUMMARY OF BUILDING REQUIREMENTS

2000 INTERNATIONAL RESIDENTIAL CODE
STATE AMENDMENTS TO IRC
MN STATE BUILDING CODE
MN STATE PLUMBING CODE

INTERNATIONAL MECHANICAL CODE
STATE AMENDMENTS TO IMC
MN STATE ENEVERGY CODE
MN ACCESSIBILITY CODE

I, AS SIGNER OF THE PERMIT, AGREE TO THE FOLLOWING:

_____ I will

- Place on site a valid permit prior to starting project
- Call for all of the required inspections
- Request inspections 48 hours in advance

_____ I understand if I do not have:

- The site posted with the address number,
 - The permit & check list posted on site prior to Inspection,
 - The requested inspection ready,
- the inspector **will not** complete the inspection and I (applicant) am responsible to re-schedule when items are posted.

_____ I agree to comply with all requirements of the codes and city ordinances and will require all sub-contractors to be in strict compliance. If I am not familiar with or don't understand the requirements, I will seek professional advice.

_____ I understand the inspections listed on this page are not limited to or exclude any special inspections if noted on the plans and/or the permit card with an "X" by the required inspection. I also understand that this is a partial list and is not intended to be in its entirety.

By signing below I acknowledge that I have read, understand and agree to the requirements listed and will follow all City requirements, Ordinances and State Codes.

Signature of Applicant

Printed Name

INSPECTIONS

Site-Shall be staked at building location and all property pins located and visible for inspection prior to issuance of permit. Lot corners, set backs, size and location of building and accessory buildings, Driveway locations. Site address shall be posted at this time.

Concrete Slab -All slabs prior to pour (Forms placed, rebar hung prior to inspection)

Footing-Prior to pouring. (Forms to be placed and rebar hung prior to inspection)

Foundation-prior to backfilling. The damp proofing & core pour shall be inspected.

Drain Tile-prior to back filling

Poured Walls-prior to pouring concrete (All rebar and forms in place)

Electrical-inspection required by State Electrical Inspector. The final inspection shall be completed prior to occupancy.

Framing- Required. All windows and doors are installed and prior to insulation being done. Lumber shall be stamped and trusses shall be engineered. Energy trusses on the home are encouraged.

Plumbing-required. A master plumber is required to be at all tests. Back flow preventers are required. (Three inspections required; Underground, Rough In & Final)

Mechanical- require a Rough-in, Gas line air test (1 hour @ 25#), and a Final inspection.

Insulation- Prior to covering. Requirements must meet Category 1 or the New Energy Code.

Septic/Sewer/Compliance required

Final- "Certificate of Occupancy" required prior to occupying the building.

Additional Requirements:

Building Address numbers shall be **DISPLAYED** on the building closest to the road and shall be visible from the road. The address numbers shall also be posted at the main entrance of the job site.

Date _____



Department of Labor and Industry Construction Codes and Licensing Division

443 Lafayette Road N.

St. Paul, MN 55155

Phone: (651) 284-5012 or 1-800-657-3944

TTY: (651) 297-4198 Fax: (651) 284-5749

The State of Minnesota adopts a set of construction standards known as the Minnesota State Building Codes (MSBC). The MSBC contains safety requirements relating to structure, mechanical, plumbing, energy, electrical, elevators, manufactured buildings and life safety.

The information in this brochure is for general reference for residential construction projects. Contact your municipal building official regarding permits and specific code requirements for residential construction within your community.

To confirm if your contractor is licensed in Minnesota contact the:

Department of Labor and Industry
Residential Building Contractors
Phone: (651) 284-5069 or 1-800-657-3944
www.dli.mn.gov/ccld/LicVerify.asp
E-mail: DLI.Contractor@state.mn.us

www.dli.mn.gov



Gopher State One Call
Call at least two full business
days before you dig.
Phone: 811 or (651) 454-0002
www.call811.com



05-07

GARAGES

*Guidelines for planning
the construction
of a garage.*



Permits

Building permits are required for construction of all garages. The Minnesota State Building Code (MSBC) differentiates between attached and detached garages and there are some differences in the requirements. Garages must also meet the land use and setback requirements of the city zoning code. Zoning questions should be directed to the local planning and zoning department.

Municipal permit fees, plan review and inspections

Building fees are established by the municipality. Inspections are performed at various stages of construction to verify code compliance. The plan review is done by the building official in order to spot potential problems or pitfalls that may arise. The building official may make notes on the plan for your use. Inspections are performed at various stages of construction to verify code compliance. Actual permit costs can be obtained by calling your local building inspection department with your estimated construction value.

Note: Setbacks from property lines vary depending upon the city and zoning district your home is located in. Some communities have other zoning provisions that may include lot coverage or screening.

Required inspections

a. Footing or concrete slab

To be made after all form work is set and any required reinforcement is in place **but prior to the pouring of the concrete.**

b. Framing

To be made after framing is complete and other required rough-in inspections are completed and approved.

c. Final

To be made upon completion.

d. Other inspections

In addition to the inspections above, the inspector may make or require other inspections to ascertain compliance with the provisions of the code or to assist you with your questions or concerns during the construction process.



Construction Codes and Licensing

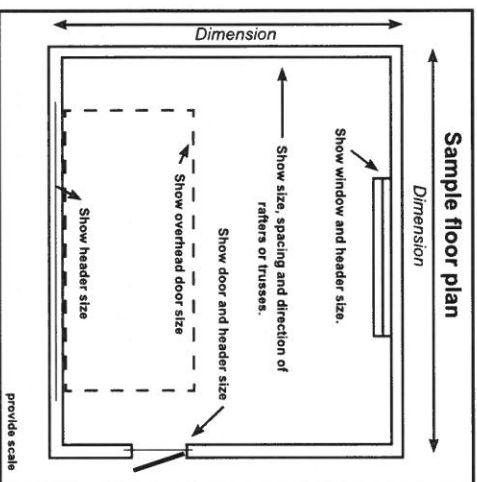
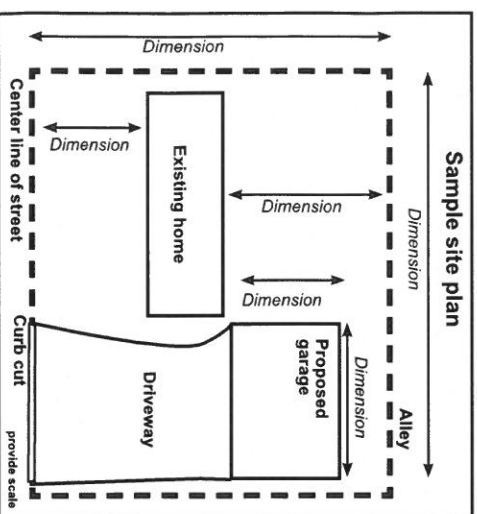
General building code requirements

The 2007 Minnesota State Building Code adopts the 2006 International Residential Code (2006 IRC). All "R" code references provided in this brochure pertain to the 2006 IRC.

- Footings must extend to frost depth for all attached garages. A "floating slab" may be used for the foundation support of detached garages on all soils except peat and muck. The slab perimeter must be sized and/or reinforced to carry all design loads. The minimum-slab thickness must be 3 1/2 inches and reinforcing is recommended. The minimum concrete strength required is 3500-pounds-per-square-inch for floating slab. Protect concrete from freezing until cured.
- Anchor bolts or straps: Foundation plates must be anchored to the foundation with not less than 1/2 inch diameter steel bolts, or approved straps, embedded at least seven inches into the concrete and spaced not more than six feet apart. There must be a minimum of two bolts for each piece of sill plate with one bolt located within 12 inches of each end of each piece of sill plate. Anchor straps must be installed according to manufacturer's specifications.
- Sill plate: All foundation sill plates must be approved pressure-preservative-treated wood, heartwood of redwood, black locust or cedar.
- Wall framing: Studs must be placed with their wide dimension perpendicular to the wall and not less than three studs must be installed at each corner of an exterior wall. Minimum stud size is two inches by four inches and spaced not more than 24 inches on center.

The following samples show the minimum detail expected on site, floor and elevation plans to ensure the permit process proceeds smoothly. Additional information, such as sectional drawing or elevations, may be required. The plans should include the following information:

- Proposed size of garage.
- Location and size of door and window opening.
- Size of headers over all doors and window openings.
- Size, spacing and direction of rafter (roof) materials.
- Type (grade and specie) of lumber to be used.
- Braced wall panels per R602.10.



- Top plate: Bearing and exterior wall studs need to be capped with double-top plates installed to provide overlapping at corners and at intersections with other partitions. End joints in double-top plates must be offset at least 24 inches.
- Sheathing, roofing and siding: Approved wall sheathing, siding, roof sheathing and roof covering must be installed according to the manufacturer's specifications. Wall sheathing may be required to have a weather-resistant barrier installed over the product prior to application of the siding product.
- Wood and earth separation: Wood used in construction located nearer than 6 inches to earth shall be treated wood.
- Roof framing: Size and spacing of conventional lumber used for roof framing depends upon the roof pitch, span, the type of material being used and the loading characteristics being imposed. Garages must be designed for the appropriate snow load in your area. Contact your local building inspector. A snow load map is online at www.dli.mn.gov/ccdd/pdf/bc_map_frost_depth.pdf.
Rafters need to be framed directly opposite each other at the ridge. A ridge board at least one inch (nominal) thickness and not less in depth than the cut end of the rafter is required for hand-framed roofs. At all valleys and hips, there also needs to be a single valley or hip rafter not less than two inches (nominal) thickness and not less in depth than the cut of the rafter. Valley needs to be designed as a beam.
Rafters must be nailed to the adjacent ceiling joist to form a continuous tie between exterior walls when the joists are parallel to the rafters. Where not parallel, rafters must be tied by a minimum one inch by four inch (nominal) cross tie spaced a maximum four foot on center. Manufactured trusses are to be installed per the manufacturer.
- Separation required: An attached garage shall be separated from the residence and its attic area by not less than 1/2-inch (12.7 mm) gypsum board applied on the garage side. Where the separation is a floor-ceiling assembly, the structure supporting the separation shall be protected by not less than 5/8-inch (15.9 mm) type "X" gypsum board or equivalent.
Concrete curb block: Concrete masonry curb blocks shall be at least 6-inch-modular width (4-inch-curb blocks are not permitted by code).

